

BOARD OF
BUILDING AND SAFETY
COMMISSIONERS

VAN AMBATIELOS
PRESIDENT

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CITY OF LOS ANGELES
CALIFORNIA



ERIC GARCETTI
MAYOR

DEPARTMENT OF
BUILDING AND SAFETY
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

RAYMOND S. CHAN, C.E., S.E.
GENERAL MANAGER

FRANK BUSH
EXECUTIVE OFFICER

December 4, 2014

Council District: # 4

Honorable Council of the
City of Los Angeles
Room 395, City Hall

JOB ADDRESS: **10936 WEST OTSEGO STREET, LOS ANGELES, CA**
ASSESSORS PARCEL NO. (APN): **2419-003-023**

On July 5, 2010, pursuant to the authority granted by Section 91.103 of the Los Angeles Municipal Code, the Department of Building and Safety (the "Department") investigated and identified code violations at: **10936 West Otsego Street, Los Angeles, California** (the "Property"). A copy of the title report which includes a full legal description of the property is attached as Exhibit A.

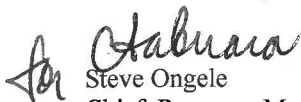
Following the Department's investigation an order or orders to comply were issued to the property owner and all interested parties. Pursuant to Section 98.0411(a) the order warned that "a proposed noncompliance fee may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or slight modification is filed within 15 days after the compliance date." The owners failed to comply within the time prescribed by ordinance. The Department imposed non-compliance fee as follows:

<u>Description</u>	<u>Amount</u>
Non-Compliance Code Enforcement fee	\$ 550.00
Late Charge/Collection fee (250%)	1,375.00
Accumulated Interest (1%/month)	452.49
Title Report fee	42.00
Grand Total	\$ 2,419.49

Pursuant to the authority granted by Section 7.35.3 of the Los Angeles Administrative Code, it is proposed a lien for a total sum of **\$2,419.49** recorded against the property. It is requested that the Honorable City Council of the City of Los Angeles (the "City Council") designate the time and place protest can be heard concerning this matter, as set forth in Sections 7.35.3 and 7.35.5 of the Los Angeles Administrative Code.

It is further requested that the City Council instruct the Department to deposit to Dept 08, Fund 48R, Balance Sheet Account 2200, any payment received against this lien in the amount of **\$2,419.49** on the referenced property. A copy of the title report which includes a full legal description of the property is attached as Exhibit A. A list of all the names and addresses of owners and all interested parties entitled to notice is included (Exhibit B). Also attached is a report which includes the current fair market value of the property including all encumbrances of record on the property as of the date of the report (Exhibit C).

DEPARTMENT OF BUILDING AND SAFETY


Steve Ongele

Chief, Resource Management Bureau

Lien confirmed by
City Council on:

ATTEST: HOLLY WOLCOTT, CITY CLERK

BY: _____
DEPUTY

EXHIBIT A



5711 W. SLAUSON AVE., SUITE 170
CULVER CITY, CA 90230
Phone 310-649-2020 310-649-0030 Fax

Property Title Report

Work Order No. T10214
Dated as of: 04/24/2014

Prepared for: City of Los Angeles

SCHEDULE A (Reported Property Information)

APN #: 2419-003-023

Property Address: 10936 W OTSEGO ST City: Los Angeles County: Los Angeles

VESTING INFORMATION

Type of Instrument INDIVIDUAL QUITCLAIM DEED

Grantor: MICHAEL JOHN HALEKAKIS, A MARRIED MAN, WHO ACQUIRED TITLE AS MICHAEL JOHN HALEKAKIS, A SINGLE MAN AND MARIA NEBELSKY, A MARRIED WOMAN, WHO ACQUIRED TITLE AS MARIA JOHN HALEKAKIS, A SINGLE WOMAN

Grantee: NICK JOHN HALEKAKIS, A SINGLE MAN

Instrument: 03/0261966

Book/Page: N/A

Dated: 08/09/2002

Recorded: 01/28/2003

MAILING ADDRESS: NICK JOHN HALEKAKIS
P.O. BOX 1356, SANTA MONICA, CA 90406

MAILING ADDRESS: NICK JOHN HALEKAKIS
10923 OTSEGO STREET, NORTH HOLLYWOOD, CA 91601

Type of Instrument QUITCLAIM DEED

Grantor: GINA L. HALEKAKIS

Grantee: MICHAEL JOHN HALEKAKIS, A MARRIED MAN AS HIS SOLE AND SEPARATE PROPERTY

Instrument: 03/0261967

Book/Page: N/A

Dated: 08/09/2002

Recorded: 01/28/2003

MAILING ADDRESS: MICHAEL JOHN HALEKAKIS AND NICK JOHN HALEKAKIS,
10923 OTSEGO STREET, NORTH HOLLYWOOD, CA 91601

Type of Instrument INDIVIDUAL GRANT DEED

Grantor: MICHAEL A. JIMENEZ AND RANDI L. JIMENEZ, HUSBAND AND WIFE, AS JOINT TENANTS

Grantee: MICHAEL JOHN HALEKAKIS, A SINGLE MAN, NICK JOHN HALEKAKIS, A SINGLE MAN, AND MARIA JOHN HALEKAKIS, A SINGLE WOMAN, ALL AS JOINT TENANTS

Instrument: 87/235739

Book/Page: N/A

Dated: 12/03/1986

Recorded: 02/17/1987

INTUITIVE REAL ESTATE SOLUTIONS
5711 W. SLAUSON AVE., SUITE 170
CULVER CITY, CA 90230
Phone 310-649-2020 310-649-0030 Fax

Work Order No.

SCHEDULE B (Continued)

MAILING ADDRESS: MICHAEL JOHN HALEKAKIS AND NICK JOHN HALEKAKIS
10923 OTSEGO STREET, NORTH HOLLYWOOD, CALIFORNIA 91601

SCHEDULE B

LEGAL DESCRIPTION

LOT 72 OF TRACT 7274, IN THE CITY OF NORTH HOLLYWOOD, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA,
AS PER MAP RECORDED IN BOOK 90, PAGE(S) 40, MISCELLANEOUS MAPS IN THE OFFICE OF THE COUNTY
RECORDER OF SAID COUNTY.

MORTGAGES/LIENS

Type of Instrument DEED OF TRUST

Trustor/Mortgagor: NICK JOHN HALEKAKIS, A SINGLE MAN

Lender/Beneficiary: MERS AS NOMINEE FOR TAYLOR, BEAN & WHITAKER MORTGAGE CORP.

Trustee: EQUITY TITLE

Instrument: 06/0409715

Book/Page: N/A

Amount: \$367,000.00

Open Ended: NO

Dated: 02/14/2006

Recorded: 02/24/2006

Maturity Date: 03/01/2036

MAILING ADDRESS: TAYLOR, BEAN & WHITAKER MORTGAGE CORP. 1417 NORTH
MAGNOLIA AVE. OCALA, FL 34475

MAILING ADDRESS: MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC.
"MERS", P.O BOX 2026, FLINT, MI 48501-2026.

Type of Instrument MISCELLANEOUS

NOTICE OF PENDING LIEN, DATED 11/01/2010 RECORDED 12/03/2010 AS
INSTRUMENT NO. 20101780782

MAILING ADDRESS: DEPARTMENT OF BUILDING AND SAFETY FINANCIAL
SERVICES DIVISION, 201 N. FIGUEROA ST., 9TH FLOOR LOS ANGELES, CA 90012

MAILING ADDRESS: HALEKAKIS NICK J, 10936 OTSEGO ST, NORTH HOLLYWOOD CA, 91601.

NOTICE OF LIEN, DATED 01/20/2012 RECORDED 02/10/2012 AS INSTRUMENT NO. 20120236324

MAILING ADDRESS: DEPARTMENT OF BUILDING AND SAFETY FINANCIAL
SERVICES DIVISION, 201 N. FIGUEROA ST., 9TH FLOOR LOS ANGELES, CA 90012.

MAILING ADDRESS: NICK HALEKAKIS, 10923 OTSEGO STREET, NORTH
HOLLYWOOD, CA 91601

MAILING ADDRESS: NICK HALEKAKIS, P.O. BOX 942, NORTH HOLLYWOOD, CA 91603 (OWNER)

NOTICE OF PENDING LIEN, DATED 07/20/2012 RECORDED 07/27/2012 AS INSTRUMENT NO. 20121115421

MAILING ADDRESS: DEPARTMENT OF BUILDING AND SAFETY FINANCIAL
SERVICES DIVISION, 201 N. FIGUEROA ST., 9TH FLOOR LOS ANGELES, CA 90012.

MAILING ADDRESS: HALEKAKIS NICK J. PO BOX 942 NORTH HOLLYWOOD CA, 91603

2/24/06

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RECORDING REQUESTED BY
Taylor, Bean & Whitaker Mortgage C

AND WHEN RECORDED MAIL TO
Taylor, Bean & Whitaker Mortgage Corp.
1417 North Magnolia Ave.
Ocala, FL 34475

06 0409715

[Space Above This Line For Recording Data]

AP 2499-003-023

DEED OF TRUST

MIN: 100029500010761264

DEFINITIONS

Words used in multiple sections of this document are defined below and other words are defined in Sections 3, 11, 13, 18, 20 and 21. Certain rules regarding the usage of words used in this document are also provided in Section 16.

(A) "Security Instrument" means this document, which is dated February 14, 2006, together with all Riders to this document.

(B) "Borrower" is Nick John Halekakis, A Single Man

Borrower is the trustor under this Security Instrument.

(C) "Lender" is Taylor, Bean & Whitaker Mortgage Corp.
Lender is a Florida Corporation
the laws of FL
1417 North Magnolia Ave, Ocala, FL 34475

organized and existing under
Lender's address is

(D) "Trustee" is EQUITY TITLE

(E) "MERS" is Mortgage Electronic Registration Systems, Inc. MERS is a separate corporation that is acting solely as a nominee for Lender and Lender's successors and assigns. MERS is the beneficiary under this Security Instrument. MERS is organized and existing under the laws of Delaware, and has an address and telephone number of P.O. Box 2026, Flint, MI 48501-2026, tel. (888) 679-MERS.

(F) "Note" means the promissory note signed by Borrower and dated February 14, 2006. The Note states that Borrower owes Lender Three Hundred Fifty Seven Thousand and no/100 Dollars (U.S. \$ 357,000.00) plus interest. Borrower has promised to pay this debt in regular Periodic Payments and to pay the debt in full not later than March 01, 2036.

(G) "Property" means the property that is described below under the heading "Transfer of Rights in the Property."

CALIFORNIA—Single Family—Fannie Mae/Freddie Mac UNIFORM INSTRUMENT

(ITEM 7002-001) —MERS

(Page 1 of 12 pages)

Form 5005 1/01

OREGON-LAND 8

To Draw Call 1-800-596-9361 (CA) or 512-791-1731



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(H) "Loan" means the debt evidenced by the Note, plus interest, any prepayment charges and late charges due under the Note, and all sums due under this Security Instrument, plus interest.

(I) "Riders" means all Riders to this Security Instrument that are executed by Borrower. The following Riders are to be executed by Borrower [check box as applicable]:

- | | | |
|--|---|---|
| <input type="checkbox"/> Adjustable Rate Rider | <input type="checkbox"/> Condominium Rider | <input type="checkbox"/> Second Home Rider |
| <input type="checkbox"/> Balloon Rider | <input type="checkbox"/> Planned Unit Development Rider | <input type="checkbox"/> Other(s) [specify] |
| <input type="checkbox"/> 1-4 Family Rider | <input type="checkbox"/> Biweekly Payment Rider | |

(J) "Applicable Law" means all controlling applicable federal, state and local statutes, regulations, ordinances and administrative rules and orders (that have the effect of law) as well as all applicable final, non-appealable judicial opinions.

(K) "Community Association Dues, Fees, and Assessments" means all dues, fees, assessments and other charges that are imposed on Borrower or the Property by a condominium association, homeowners association or similar organization.

(L) "Electronic Funds Transfer" means any transfer of funds, other than a transaction originated by check, draft, or similar paper instrument, which is initiated through an electronic terminal, telephonic instrument, computer, or magnetic tape so as to order, instruct, or authorize a financial institution to debit or credit an account. Such term includes, but is not limited to, point-of-sale transfers, automated teller machine transactions, transfers initiated by telephone, wire transfers, and automated clearinghouse transfers.

(M) "Escrow Items" means those items that are described in Section 3.

(N) "Miscellaneous Proceeds" means any compensation, settlement, award of damages, or proceeds paid by any third party (other than insurance proceeds paid under the coverages described in Section 5) for: (i) damage to, or destruction of, the Property; (ii) condemnation or other taking of all or any part of the Property; (iii) conveyance in lieu of condemnation; or (iv) misrepresentations of, or omissions as to, the value and/or condition of the Property.

(O) "Mortgage Insurance" means insurance protecting Lender against the nonpayment of, or default on, the Loan.

(P) "Periodic Payment" means the regularly scheduled amount due for (i) principal and interest under the Note, plus (ii) any amounts under Section 3 of this Security Instrument.

(Q) "RESPA" means the Real Estate Settlement Procedures Act (12 U.S.C. §2601 et seq.) and its implementing regulation, Regulation X (24 C.F.R. Part 3500), as they might be amended from time to time, or any additional or successor legislation or regulation that governs the same subject matter. As used in this Security Instrument, "RESPA" refers to all requirements and restrictions that are imposed in regard to a "federally related mortgage loan" even if the Loan does not qualify as a "federally related mortgage loan" under RESPA.

(R) "Successor in Interest of Borrower" means any party that has taken title to the Property, whether or not that party has assumed Borrower's obligations under the Note and/or this Security Instrument.

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2/24/06

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TRANSFER OF RIGHTS IN THE PROPERTY

The beneficiary of this Security Instrument is MERS (solely as nominee for Lender and Lender's successors and assigns) and the successors and assigns of MERS. This Security Instrument secures to Lender: (i) the repayment of the Loan, and all renewals, extensions and modifications of the Note; and (ii) the performance of Borrower's covenants and agreements under this Security Instrument and the Note. For this purpose, Borrower irrevocably grants and conveys to Trustee, in trust, with power of sale, the following described property located in the

County

[Type of Recording Jurisdiction]

of **Los Angeles**
[Name of Recording Jurisdiction]

See Attached Exhibit A.

which currently has the address of

10936 Otsego Street

[Street]

North Hollywood

[City]

, California

91601

[Zip Code]

("Property Address"):

TOGETHER WITH all the improvements now or hereafter erected on the property, and all easements, appurtenances, and fixtures now or hereafter a part of the property. All replacements and additions shall also be covered by this Security Instrument. All of the foregoing is referred to in this Security Instrument as the "Property." Borrower understands and agrees that MERS holds only legal title to the interests granted by Borrower in this Security Instrument, but, if necessary to comply with law or custom, MERS (as nominee for Lender and Lender's successors and assigns) has the right to exercise any or all of those interests, including, but not limited to, the right to foreclose and sell the Property; and to take any action required of Lender including, but not limited to, releasing and canceling this Security Instrument.

BORROWER COVENANTS that Borrower is lawfully seized of the estate hereby conveyed and has the right to grant and convey the Property and that the Property is unencumbered, except for encumbrances of record. Borrower warrants and will defend generally the title to the Property against all claims and demands, subject to any encumbrances of record.

THIS SECURITY INSTRUMENT combines uniform covenants for national use and non-uniform covenants with limited variations by jurisdiction to constitute a uniform security instrument covering real property.

UNIFORM COVENANTS. Borrower and Lender covenant and agree as follows:

1. **Payment of Principal, Interest, Escrow Items, Prepayment Charges, and Late Charges.** Borrower shall pay when due the principal of, and interest on, the debt evidenced by the Note and any prepayment charges and late charges due under the Note. Borrower shall also pay funds for Escrow Items pursuant to Section 3. Payments due under the Note and this Security Instrument shall be made in U.S. currency. However, if any check or other instrument received by Lender as payment under the Note or this Security Instrument is returned to Lender unpaid, Lender may require that any or all subsequent payments due under the Note and this Security Instrument be made in one or more of the following forms, as selected by Lender: (a) cash; (b) money order; (c) certified check, bank check, treasurer's check or cashier's check, provided any such check is drawn upon an institution whose deposits are insured by a federal agency, instrumentality, or entity; or (d) Electronic Funds Transfer.

CALIFORNIA—Single Family—Fannie Mae/Freddie Mac UNIFORM INSTRUMENT

FORM 1002B12 (06/11)—MERS

(Page 3 of 12 pages)

Form 3005 1/01

© 2011 FANNIE MAE
To Order Call 1-800-538-5233 or 816-791-1311

06 0409715

LOS ANGELES, CA

Document: TD 2006.409715

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2/24/06

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BY SIGNING BELOW, Borrower accepts and agrees to the terms and covenants contained in pages 1 through 12 of this Security Instrument and in any Rider executed by Borrower and recorded with it.

Nick John Hatakakis (Seal) (Seal)
-Borrower -Borrower

____ (Seal) (Seal)
-Borrower -Borrower

____ (Seal) (Seal)
-Borrower -Borrower

Witness:

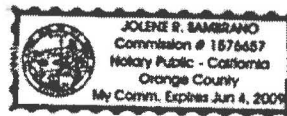
Witness:

State of California)
County of LOS ANGELES)

On February 14, 2006 before me, Jolene R. Sambrano, Notary Public
personally appeared
Nick John Hatakakis

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature: Jolene R. Sambrano

CALIFORNIA—Single Family—Fannie Mae/Freddie Mac UNIFORM INSTRUMENT
ITEM 1002SL12 (001)—MCHS (Page 12 of 12 pages)

Form 3005 1/98
GREATLAND
Tel: 800-330-8933 Fax: 818-791-1321

06 0409715

LOS ANGELES, CA
Document: TD 2006.409715

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RECORDING REQUESTED BY
Nick Halekakis
AND WHEN RECORDED MAIL TO:
Nick Halekakis
10923 Otsego Street
North Hollywood, CA 91601

03 0261967

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A.P.N: 2419-003-023

Order No: 591785-12

Escrow No: 15669-WJ

QUITCLAIM DEED

THE UNDERSIGNED GRANTOR(S) DECLARE(S) DOCUMENTARY TRANSFER TAX \$None
☐ computed on full value of property conveyed, or
☐ computed on full value less value of liens or encumbrances remaining at time of sale,
☐ unincorporated area; ☐ City of North Hollywood, and

FOR A VALUABLE CONSIDERATION, Receipt of which is hereby acknowledged,
Gina L. Halekakis

hereby remise, release and forever quitclaim to
Michael John Halekakis, a married man as his sole and separate property

the following described property in the City of North Hollywood County of Los Angeles State of California;

Lot 72 of Tract 7274, in the City of North Hollywood, County of Los Angeles, State of California, as per map recorded in Book 90, Page(s) 40, Miscellaneous Maps in the Office of the County Recorder of said County.

This conveyance establishes sole and separate property of a spouse, R&T 11911. It is the express intent of the Grantor, being the spouse of the Grantee to convey all right, title and interest of the Grantor, community or otherwise, in and to the herein described property to the Grantee as his/her sole and separate property.

Document Date: August 9, 2002


Gina L. Halekakis

STATE OF CALIFORNIA
COUNTY OF Los Angeles

On 16th Aug 2002 before me, Amit James Nath

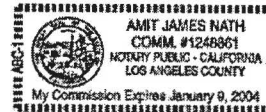
personally appeared Gina L. Halekakis

personally known to me (or proved to me on the basis of satisfactory evidence) to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies) and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed the instrument.

WITNESS my hand and official seal.

Signature Amit James Nath

The area below is for official notarial seal.



Mail Tax Statements to: Same as Above or Address Noted Below

RECORDING REQUESTED BY:
CITY OF LOS ANGELES

WHEN RECORDED MAIL TO:

Department of Building and Safety
Financial Services Division
201 N. Figueroa St., 9th Floor
Los Angeles, CA 90012



SPACE ABOVE THIS LINE FOR RECORDER'S USE

NOTICE OF LIEN

APN # 2419-003-023

AKA: 10936 WEST OTSEGO STREET, LOS ANGELES, CA.

Pursuant to the authority vested by the provisions of Section 98.0402 of Division 4 of Article 8 of Chapter IX of the Los Angeles Municipal Code and Section 7.35.1 et seq. of Article 4.6 of Chapter I of Division 7 of the Los Angeles Administrative Code, and pursuant to the confirmation of the City Council on January 3, 2012, the City of Los Angeles hereby claims a lien in the sum \$ 2,216.82, against the property described below to recover inspection costs, plus appropriate fees and fines, incurred in relation to the property, located at:

AKA: 10936 WEST OTSEGO STREET, LOS ANGELES, CA.

The property subject to this Notice of Lien is that certain real property in the City of Los Angeles, County of Los Angeles, State of California, described as follows:

Lot 72 of Tract No. 7274, in the City of Los Angeles, County of Los Angeles, State of California, as per map recorded in Book 90, Page(s) 40 Miscellaneous Maps, in the office of the County Recorder of said County. (Full legal description on file in the Department of Building and Safety, Financial Services Division, 201 N. Figueroa St., 9th Floor, Los Angeles, 90012)

**THIS LIEN WILL CONTINUE IN FULL FORCE AND EFFECT UNTIL THE
CITY OF LOS ANGELES RECORDS A SUBSEQUENT RELEASE OF LIEN.**

OWNER(S):

NICK HALEKAKIS
10923 OTSEGO STREET
NORTH HOLLYWOOD, CA 91601

NICK HALEKAKIS
P.O. BOX 942
NORTH HOLLYWOOD, CA 91603

DATED: This 20th Day of January 2012

CITY OF LOS ANGELES
Department of Building and Safety

By _____
Steve Angele, Chief
Resource Management Bureau

EXHIBIT B

ASSIGNED INSPECTOR: **RONALD KIDWELL**

Date: **December 4, 2014**

JOB ADDRESS: **10936 WEST OTSEGO STREET, LOS ANGELES, CA**

ASSESSORS PARCEL NO. (APN): **2419-003-023**

Last Full Title: **04/24/2014**

Last Update to Title:

.....

LIST OF OWNERS AND INTERESTED PARTIES

- 1). NICK JOHN HALEKAKIS
PO BOX 1356
SANTA MONICA, CA. 90406-1356
CAPACITY: OWNER
- 2). NICK JOHN HALEKAKIS
PO BOX 942
NORTH HOLLYWOOD, CA. 91603
CAPACITY: OWNER
- 3). NICK JOHN HALEKAKIS
10923 OTSEGO STREET
NORTH HOLLYWOOD, CA. 91601-3934
CAPACITY: OWNER
- 4). MICHAEL JOHN AND NICK JOHN HALEKAKIS
10923 OTSEGO STREET
NORTH HOLLYWOOD, CA. 91601-3934
CAPACITY: OWNERS
- 5). TAYLOR, BEAN AND WHITAKER MORTGAGE CORPORATION
1417 NORTH MAGNOLIA AVENUE
OCALA, FL. 34475
CAPACITY: INTERESTED PARTIES
- 6). MORTGAGE ELECTRONIC REGISTRATION SYSTEMS, INC.
PO BOX 2026
FLINT, MI. 48501-2026
CAPACITY: INTERESTED PARTIES

Property Detail Report

For Property Located At :
10936 OTSEGO ST, NORTH HOLLYWOOD, CA 91601-3934



CoreLogic

RealQuest Professional

Owner Information

Owner Name: **HALEKAKIS NICK J**
 Mailing Address: **PO BOX 1356, SANTA MONICA CA 90406-1356 B023**
 Vesting Codes: **SM / /**

Location Information

Legal Description:	TRACT NO 7274 LOT 72	APN:	2419-003-023
County:	LOS ANGELES, CA	Alternate APN:	
Census Tract / Block:	1255.01 / 1	Subdivision:	7274
Township-Range-Sect:		Map Reference:	23-E2 / 563-A3
Legal Book/Page:	90-40	Tract #:	7274
Legal Lot:	72	School District:	LOS ANGELES
Legal Block:		School District Name:	
Market Area:	NHO	Munic/Township:	
Neighbor Code:			

Owner Transfer Information

Recording/Sale Date:	01/28/2003 / 08/09/2002	Deed Type:	QUIT CLAIM DEED
Sale Price:		1st Mtg Document #:	
Document #:	261967		

Last Market Sale Information

Recording/Sale Date:	02/17/1987 / 12/1986	1st Mtg Amount/Type:	\$120,800 / CONV
Sale Price:	\$151,000	1st Mtg Int. Rate/Type:	/
Sale Type:	FULL	1st Mtg Document #:	235740
Document #:	235739	2nd Mtg Amount/Type:	\$7,700 / PRIVATE PARTY
Deed Type:	GRANT DEED	2nd Mtg Int. Rate/Type:	/
Transfer Document #:		Price Per SqFt:	\$106.41
New Construction:		Multi/Split Sale:	

Title Company:
 Lender:
 Seller Name: **SEARS MTG CORP
 JIMENEZ MICHAEL A**

Prior Sale Information

Prior Rec/Sale Date:	05/26/1983 /	Prior Lender:	
Prior Sale Price:	\$118,000	Prior 1st Mtg Amt/Type:	\$116,000 / VA
Prior Doc Number:	594720	Prior 1st Mtg Rate/Type:	/
Prior Deed Type:	DEED (REG)		

Property Characteristics

Gross Area:		Parking Type:	ATTACHED GARAGE	Construction:	FRAME
Living Area:	1,419	Garage Area:		Heat Type:	HEATED
Tot Adj Area:		Garage Capacity:	2	Exterior wall:	STUCCO
Above Grade:		Parking Spaces:	2	Porch Type:	
Total Rooms:	6	Basement Area:		Patio Type:	
Bedrooms:	3	Finish Bsmnt Area:		Pool:	
Bath(F/H):	2 /	Basement Type:		Air Cond:	
Year Built / Eff:	1927 / 1927	Roof Type:		Style:	CONVENTIONAL
Fireplace:	Y / 1	Foundation:	RAISED	Quality:	AVERAGE
# of Stories:	1.00	Roof Material:	ROLL COMPOSITION	Condition:	POOR
Other Improvements:	FENCE; ADDITION				

Site Information

Zoning:	LAR3	Acres:	0.13	County Use:	SINGLE FAMILY RESID (0100)
Lot Area:	5,805	Lot Width/Depth:	43 x 135	State Use:	
Land Use:	SFR	Res/Comm Units:	/	Water Type:	PUBLIC
Site Influence:				Sewer Type:	TYPE UNKNOWN

Tax Information

Total Value:	\$206,893	Assessed Year:	2014	Property Tax:	\$2,717.12
Land Value:	\$103,511	Improved %:	50%	Tax Area:	13
Improvement Value:	\$103,382	Tax Year:	2013	Tax Exemption:	
Total Taxable Value:	\$206,893				

Comparable Summary

For Property Located At



CoreLogic

RealQuest Professional

10936 OTSEGO ST, NORTH HOLLYWOOD, CA 91601-3934**11 Comparable(s) found.** (Click on the address to view more property information)[▶ View Report](#)[▶ Configure Display Fields](#)[▶ Modify Comparable Search Criteria](#)**Summary Statistics For Selected Properties: 11**

	Subject Property	Low	High	Average
Sale Price	\$151,000	\$266,000	\$735,000	\$584,545
Bldg/Living Area	1,419	1,212	1,570	1,376
Price/Sqft	\$106.41	\$209.61	\$505.78	\$422.08
Year Built	1927	1925	1950	1937
Lot Area	5,805	5,400	7,159	6,449
Bedrooms	3	2	3	2
Bathrooms/Restrooms	2	1	2	2
Stories	1.00	1.00	1.00	1.00
Total Value	\$206,893	\$45,748	\$648,134	\$365,383
Distance From Subject	0.00	0.03	0.39	0.31

*= user supplied for search only

<input checked="" type="checkbox"/>	# F	Address	Sale Price	Yr Blt	Bed	Baths/Restrooms(Full)	Last Recording	Bld/Liv	Lot Area	Dist
Subject Property										
		10936 OTSEGO ST	\$151,000	1927	3	2	02/17/1987	1,419	5,805	0.0
Comparables										
<input checked="" type="checkbox"/>	1	10913 OTSEGO ST	\$519,000	1927	3	1	04/11/2014	1,400	6,067	0.03
<input checked="" type="checkbox"/>	2	4918 DENNY AVE	\$700,000	1926	2	2	07/31/2014	1,384	6,749	0.3
<input checked="" type="checkbox"/>	3	5058 CARTWRIGHT AVE	\$575,000	1947	2	1	04/01/2014	1,368	6,107	0.31
<input checked="" type="checkbox"/>	4	4827 SATSUMA AVE	\$530,000	1939	2	1	09/05/2014	1,212	6,904	0.31
<input checked="" type="checkbox"/>	5	4943 CARTWRIGHT AVE	\$685,500	1925	3	1	01/31/2014	1,360	6,748	0.33
<input checked="" type="checkbox"/>	6	4823 RIVERTON AVE	\$645,000	1936	2	2	07/21/2014	1,365	6,902	0.33
<input checked="" type="checkbox"/>	7	4919 CARTWRIGHT AVE	\$649,500	1941	2	2	01/28/2014	1,351	6,750	0.34
<input checked="" type="checkbox"/>	8	5321 SATSUMA AVE	\$266,000	1938	3	2	05/30/2014	1,269	5,400	0.34
<input checked="" type="checkbox"/>	9	5316 SATSUMA AVE	\$400,000	1939	3	2	08/08/2014	1,301	5,405	0.34
<input checked="" type="checkbox"/>	10	4912 CARTWRIGHT AVE	\$725,000	1941	3	2	08/15/2014	1,555	6,749	0.36
<input checked="" type="checkbox"/>	11	4935 WILLOWCREST AVE	\$735,000	1950	2	2	09/12/2014	1,570	7,159	0.39

Comparable Sales Report

For Property Located At



CoreLogic

RealQuest Professional

10936 OTSEGO ST, NORTH HOLLYWOOD, CA 91601-3934**11 Comparable(s) Selected.**

Report Date: 10/15/2014

Summary Statistics:

	Subject	Low	High	Average
Sale Price	\$151,000	\$266,000	\$735,000	\$584,545
Bldg/Living Area	1,419	1,212	1,570	1,376
Price/Sqft	\$106.41	\$209.61	\$505.78	\$422.08
Year Built	1927	1925	1950	1937
Lot Area	5,805	5,400	7,159	6,449
Bedrooms	3	2	3	2
Bathrooms/Restrooms	2	1	2	2
Stories	1.00	1.00	1.00	1.00
Total Value	\$206,893	\$45,748	\$648,134	\$365,383
Distance From Subject	0.00	0.03	0.39	0.31

*= user supplied for search only

Comp #:1 Distance From Subject:0.03 (miles)
 Address: 10913 OTSEGO ST, NORTH HOLLYWOOD, CA 91601-3935
 Owner Name: YARBROUGH JOSEPH/CAIRNIE-YARBROUGH BREANNE M
 Seller Name: AMBER INVESTMENT GROUP INC
 APN: 2419-002-019 Map Reference: 23-E2 / 563-A3 Living Area: 1,400
 County: LOS ANGELES, CA Census Tract: 1255.01 Total Rooms: 6
 Subdivision: 7274 Zoning: LAR3 Bedrooms: 3
 Rec Date: 04/11/2014 Prior Rec Date: 08/10/1977 Bath(F/H): 1 /
 Sale Date: 02/14/2014 Prior Sale Date: Yr Built/Eff: 1927 / 1927
 Sale Price: \$519,000 Prior Sale Price: \$50,500 Air Cond:
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 371997 Acres: 0.14 Fireplace: Y / 1
 1st Mtg Amt: \$475,274 Lot Area: 6,067 Pool:
 Total Value: \$448,500 # of Stories: 1.00 Roof Mat: COMPOSITION
 Land Use: SFR Park Area/Cap#: / 1 Parking: PARKING AVAIL

Comp #:2 Distance From Subject:0.3 (miles)
 Address: 4918 DENNY AVE, NORTH HOLLYWOOD, CA 91601-4737
 Owner Name: MINTZ MICHAEL J & LAUREL J
 Seller Name: ELLINGSEN RAY FAMILY TRUST
 APN: 2421-003-015 Map Reference: 23-F2 / 563-A3 Living Area: 1,384
 County: LOS ANGELES, CA Census Tract: 1255.01 Total Rooms: 5
 Subdivision: 8 Zoning: LAR1 Bedrooms: 2
 Rec Date: 07/31/2014 Prior Rec Date: 10/01/2004 Bath(F/H): 2 /
 Sale Date: 06/26/2014 Prior Sale Date: 08/04/2004 Yr Built/Eff: 1926 / 1955
 Sale Price: \$700,000 Prior Sale Price: \$570,000 Air Cond: CENTRAL
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 793715 Acres: 0.15 Fireplace: Y / 1
 1st Mtg Amt: \$560,000 Lot Area: 6,749 Pool:
 Total Value: \$648,134 # of Stories: 1.00 Roof Mat: ROLL
 Land Use: SFR Park Area/Cap#: / 2 Parking: COMPOSITION
 ATTACHED GARAGE

Comp #:3 Distance From Subject:0.31 (miles)
 Address: 5058 CARTWRIGHT AVE, NORTH HOLLYWOOD, CA 91601-4013
 Owner Name: JOHNSON CHRYSTAL S
 Seller Name: ALTOUNIAN FAMILY TRUST
 APN: 2419-014-001 Map Reference: 23-F2 / 563-B3 Living Area: 1,368
 County: LOS ANGELES, CA Census Tract: 1255.01 Total Rooms: 5
 Subdivision: 1 Zoning: LAR1 Bedrooms: 2
 Rec Date: 04/01/2014 Prior Rec Date: 01/13/1981 Bath(F/H): 1 /
 Sale Date: 03/04/2014 Prior Sale Date: Yr Built/Eff: 1947 / 1947
 Sale Price: \$575,000 Prior Sale Price: Air Cond:
 Sale Type: FULL Prior Sale Type: Style: CONVENTIONAL
 Document #: 325481 Acres: 0.14 Fireplace: Y / 1
 1st Mtg Amt: \$554,850 Lot Area: 6,107 Pool:
 Total Value: \$134,946 # of Stories: 1.00 Roof Mat: COMPOSITION
 Land Use: SFR Park Area/Cap#: / 2 Parking: SHINGLE
 ATTACHED GARAGE

Comp #:4 Distance From Subject:0.31 (miles)
 Address: 4827 SATSUMA AVE, NORTH HOLLYWOOD, CA 91601-4659
 Owner Name: SATSUMA SOLUTIONS LLC
 Seller Name: VELASQUEZ I & A 2005 TRUST
 APN: 2421-013-023 Map Reference: 23-E2 / 563-A3 Living Area: 1,212
 County: LOS ANGELES, CA Census Tract: 1255.02 Total Rooms: 6
 Subdivision: 9742 Zoning: LARD1.5 Bedrooms: 2
 Rec Date: 09/05/2014 Prior Rec Date: 11/30/1973 Bath(F/H): 1 /
 Sale Date: 08/06/2014 Prior Sale Date: Yr Built/Eff: 1939 / 1940
 Sale Price: \$530,000 Prior Sale Price: \$31,000 Air Cond:
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 935287 Acres: 0.16 Fireplace: /
 1st Mtg Amt: \$397,500 Lot Area: 6,904 Pool:
 Total Value: \$54,543 # of Stories: 1.00 Roof Mat: COMPOSITION
 Land Use: SFR Park Area/Cap#: / 2 Parking: SHINGLE
 ATTACHED GARAGE

Comp #:5 Distance From Subject:0.33 (miles)
 Address: 4943 CARTWRIGHT AVE, NORTH HOLLYWOOD, CA 91601-4728
 Owner Name: TERRY CHRISTINE A
 Seller Name: BUFFONE-SWIFT 2008 TRUST
 APN: 2421-003-009 Map Reference: 23-F2 / 563-B3 Living Area: 1,360
 County: LOS ANGELES, CA Census Tract: 1255.01 Total Rooms: 6
 Subdivision: 8288 Zoning: LAR1 Bedrooms: 3
 Rec Date: 01/31/2014 Prior Rec Date: 04/10/1998 Bath(F/H): 1 /
 Sale Date: 01/02/2014 Prior Sale Date: 03/26/1998 Yr Built/Eff: 1925 / 1926
 Sale Price: \$685,500 Prior Sale Price: \$228,500 Air Cond:
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 106774 Acres: 0.15 Fireplace: Y / 1
 1st Mtg Amt: \$548,000 Lot Area: 6,748 Pool:
 Total Value: \$297,622 # of Stories: 1.00 Roof Mat: TILE
 Land Use: SFR Park Area/Cap#: / 1 Parking: DETACHED GARAGE

Comp #:6 Distance From Subject:0.33 (miles)
 Address: 4823 RIVERTON AVE, NORTH HOLLYWOOD, CA 91601-4634
 Owner Name: AVEDIKIAN JAMES A TRUST
 Seller Name: NAHUM FAMILY TRUST
 APN: 2421-013-032 Map Reference: 23-E2 / 563-A3 Living Area: 1,365
 County: LOS ANGELES, CA Census Tract: 1255.02 Total Rooms: 6
 Subdivision: 9742 Zoning: LARD1.5 Bedrooms: 2
 Rec Date: 07/21/2014 Prior Rec Date: 08/30/2001 Bath(F/H): 2 /
 Sale Date: 07/15/2014 Prior Sale Date: 07/31/2001 Yr Built/Eff: 1936 / 1938
 Sale Price: \$645,000 Prior Sale Price: \$325,500 Air Cond:
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 747831 Acres: 0.16 Fireplace: Y / 2
 1st Mtg Amt: \$392,254 Lot Area: 6,902 Pool: POOL
 Total Value: # of Stories: 1.00 Roof Mat: TILE
 Land Use: SFR Park Area/Cap#: / 2 Parking: PARKING AVAIL

Comp #:7 Distance From Subject:0.34 (miles)
 Address: 4919 CARTWRIGHT AVE, NORTH HOLLYWOOD, CA 91601-4728
 Owner Name: KURIHARA LISA/PUCCINELLI JOHN
 Seller Name: SONG EUNSUN
 APN: 2421-003-022 Map Reference: 23-F2 / 563-B3 Living Area: 1,351
 County: LOS ANGELES, CA Census Tract: 1255.01 Total Rooms: 6
 Subdivision: 8 Zoning: LAR1 Bedrooms: 2
 Rec Date: 01/28/2014 Prior Rec Date: 08/31/2011 Bath(F/H): 2 /
 Sale Date: 01/20/2014 Prior Sale Date: 08/03/2011 Yr Built/Eff: 1941 / 1949
 Sale Price: \$649,500 Prior Sale Price: \$590,000 Air Cond:
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 91778 Acres: 0.15 Fireplace: Y / 1
 1st Mtg Amt: \$551,800 Lot Area: 6,750 Pool: POOL
 Total Value: \$604,531 # of Stories: 1.00 Roof Mat: COMPOSITION SHINGLE
 Land Use: SFR Park Area/Cap#: / 2 Parking: PARKING AVAIL

Comp #:8 Distance From Subject:0.34 (miles)
 Address: 5321 SATSUMA AVE, NORTH HOLLYWOOD, CA 91601-3347
 Owner Name: KHOJASARIAN ANI
 Seller Name: MELKONIAN LOUSIK
 APN: 2416-007-023 Map Reference: 23-E1 / 563-A2 Living Area: 1,269
 County: LOS ANGELES, CA Census Tract: 1253.20 Total Rooms: 5
 Subdivision: 9873 Zoning: LAR3 Bedrooms: 3
 Rec Date: 05/30/2014 Prior Rec Date: 11/23/1988 Bath(F/H): 2 /
 Sale Date: 04/03/2014 Prior Sale Date: 11/1988 Yr Built/Eff: 1938 / 1957
 Sale Price: \$266,000 Prior Sale Price: \$130,500 Air Cond: EVAP COOLER
 Sale Type: FULL Prior Sale Type: FULL Style: CONVENTIONAL
 Document #: 560862 Acres: 0.12 Fireplace: /
 1st Mtg Amt: \$220,000 Lot Area: 5,400 Pool:
 Total Value: \$227,115 # of Stories: 1.00 Roof Mat: COMPOSITION SHINGLE
 Land Use: SFR Park Area/Cap#: / 1 Parking: BUILT-IN

Comp #:**9** Distance From Subject:**0.34 (miles)**
 Address: **5316 SATSUMA AVE, NORTH HOLLYWOOD, CA 91601-3346**
 Owner Name: **HOPPE JONNA D**
 Seller Name: **FARR TRUDY L TRUST**
 APN: **2416-008-007** Map Reference: **23-E1 / 563-A2** Living Area: **1,301**
 County: **LOS ANGELES, CA** Census Tract: **1253.20** Total Rooms: **6**
 Subdivision: **9873** Zoning: **LAR3** Bedrooms: **3**
 Rec Date: **08/08/2014** Prior Rec Date: **10/09/1984** Bath(F/H): **2 /**
 Sale Date: **07/16/2014** Prior Sale Date: Yr Built/Eff: **1939 / 1941**
 Sale Price: **\$400,000** Prior Sale Price: Air Cond:
 Sale Type: **FULL** Prior Sale Type: Style: **CONVENTIONAL**
 Document #: **828214** Acres: **0.12** Fireplace: **/**
 1st Mtg Amt: Lot Area: **5,405** Pool:
 Total Value: **\$45,748** # of Stories: **1.00** Roof Mat: **COMPOSITION**
 Land Use: **SFR** Park Area/Cap#: **/ 1** Parking: **SHINGLE**
PARKING AVAIL

Comp #:**10** Distance From Subject:**0.36 (miles)**
 Address: **4912 CARTWRIGHT AVE, NORTH HOLLYWOOD, CA 91601-4727**
 Owner Name: **JACKSON LEONARD & LAURA**
 Seller Name: **REES JOHANNA C**
 APN: **2421-002-015** Map Reference: **23-F2 / 563-B3** Living Area: **1,555**
 County: **LOS ANGELES, CA** Census Tract: **1255.01** Total Rooms: **6**
 Subdivision: **8** Zoning: **LAR1** Bedrooms: **3**
 Rec Date: **08/15/2014** Prior Rec Date: **04/16/2003** Bath(F/H): **2 /**
 Sale Date: **07/22/2014** Prior Sale Date: **03/10/2003** Yr Built/Eff: **1941 / 1941**
 Sale Price: **\$725,000** Prior Sale Price: **\$510,000** Air Cond:
 Sale Type: **FULL** Prior Sale Type: **FULL** Style: **CONVENTIONAL**
 Document #: **858231** Acres: **0.15** Fireplace: **Y / 1**
 1st Mtg Amt: **\$559,200** Lot Area: **6,749** Pool:
 Total Value: **\$530,819** # of Stories: **1.00** Roof Mat: **COMPOSITION**
 Land Use: **SFR** Park Area/Cap#: **/ 2** Parking: **SHINGLE**
PARKING AVAIL

Comp #:**11** Distance From Subject:**0.39 (miles)**
 Address: **4935 WILLOWCREST AVE, NORTH HOLLYWOOD, CA 91601-4734**
 Owner Name: **MCINTYRE CARLYN P**
 Seller Name: **STEELE CARMINA M & JOSEPH L JR**
 APN: **2421-002-007** Map Reference: **23-F2 / 563-B3** Living Area: **1,570**
 County: **LOS ANGELES, CA** Census Tract: **1255.01** Total Rooms: **6**
 Subdivision: **1** Zoning: **LAR1** Bedrooms: **2**
 Rec Date: **09/12/2014** Prior Rec Date: **08/31/2006** Bath(F/H): **2 /**
 Sale Date: **08/27/2014** Prior Sale Date: **07/24/2006** Yr Built/Eff: **1950 / 1956**
 Sale Price: **\$735,000** Prior Sale Price: **\$759,000** Air Cond: **CENTRAL**
 Sale Type: **FULL** Prior Sale Type: **FULL** Style: **CONVENTIONAL**
 Document #: **968996** Acres: **0.16** Fireplace: **Y / 1**
 1st Mtg Amt: Lot Area: **7,159** Pool: **SPA**
 Total Value: **\$635,000** # of Stories: **1.00** Roof Mat: **COMPOSITION**
 Land Use: **SFR** Park Area/Cap#: **/ 2** Parking: **SHINGLE**
ATTACHED GARAGE

EXHIBIT D

ASSIGNED INSPECTOR: RONALD KIDWELL
JOB ADDRESS: 10936 WEST OTSEGO STREET, LOS ANGELES, CA
ASSESSORS PARCEL NO. (APN): 2419-003-023

Date: December 4, 2014

CASE#: 381800
ORDER NO: A-2541584

EFFECTIVE DATE OF ORDER TO COMPLY: June 10, 2010
COMPLIANCE EXPECTED DATE: July 5, 2010
DATE COMPLIANCE OBTAINED: August 10, 2010

.....

LIST OF IDENTIFIED CODE VIOLATIONS (ORDER TO COMPLY)

VIOLATIONS:

SEE ATTACHED ORDER # A-2541584

**BOARD OF
BUILDING AND SAFETY
COMMISSIONERS**

MARSHA L. BROWN
PRESIDENT
VAN AMBATIELOS
VICE-PRESIDENT
VICTOR H. CUEVAS
HELENA JUBANY
ELENORE A. WILLIAMS

**CITY OF LOS ANGELES
CALIFORNIA**



ANTONIO R. VILLARAIGOSA
MAYOR

**DEPARTMENT OF
BUILDING AND SAFETY**
201 NORTH FIGUEROA STREET
LOS ANGELES, CA 90012

ROBERT R. "Bud" OVROM
GENERAL MANAGER
RAYMOND S. CHAN, C.E., S.E.
EXECUTIVE OFFICER

ORDER TO COMPLY

HALEKAKIS, NICK J.
P.O. BOX 942
NORTH HOLLYWOOD, CALIFORNIA
91603

CASE #: 381800
ORDER #: A-2541584
EFFECTIVE DATE: June 10, 2010
COMPLIANCE DATE: July 05, 2010

LPK

JUL 15 2010

OWNER OF
SITE ADDRESS: 10936 W OTSEGO ST
ASSESSORS PARCEL NO.: 2419-003-023
ZONE: R3; Multiple Dwelling Zone

An inspection has revealed that the property (Site Address) listed above is in violation of the Los Angeles Municipal Code (L.A.M.C.) as follows:

VIOLATION(S):

1. Maintenance and repair of existing building.

You are therefore ordered to: Maintain the existing building and/or premises in a safe and sanitary condition and good repair.

Code Section(s) in Violation: 91.8104, 91.8104.2, 91.103.1, 12.21A.1.(a) of the L.A.M.C.

Comments: Remove all overgrown vegetation from all yards.

NON-COMPLIANCE FEE WARNING:

YOU ARE IN VIOLATION OF THE L.A.M.C. IT IS YOUR RESPONSIBILITY TO CORRECT THE VIOLATION(S) AND CONTACT THE INSPECTOR LISTED BELOW TO ARRANGE FOR A COMPLIANCE INSPECTION BEFORE THE NON-COMPLIANCE FEE IS IMPOSED. Failure to correct the violations and arrange for the compliance inspection within 15 day from the Compliance Date, will result in imposition of the fee noted below.

A proposed noncompliance fee in the amount of \$550.00 may be imposed for failure to comply with the order within 15 days after the compliance date specified in the order or unless an appeal or request for slight modification is filed within 15 days of the compliance date.

If an appeal or request for slight modification is not filed within 15 days of the compliance date or extensions granted therefrom, the determination of the department to impose and collect a non-compliance fee shall be final. Section 98.0411 L.A.M.C.

NOTE: FAILURE TO PAY THE NON-COMPLIANCE FEE WITHIN 30 DAYS AFTER THE DATE OF MAILING THE INVOICE, MAY RESULT IN A LATE CHARGE OF TWO (2) TIMES THE NON-COMPLIANCE FEE PLUS A 50 PERCENT COLLECTION FEE FOR A TOTAL OF \$1,925.00.

Any person who fails to pay the non-compliance fee, late charge and collection fee shall also pay interest. Interest shall be calculated at the rate of one percent per month.

PENALTY WARNING:

Any person who violates or causes or permits another person to violate any provision of the Los Angeles Municipal Code (L.A.M.C.) is guilty of a misdemeanor which is punishable by a fine of not more than \$1000.00 and/or six (6) months imprisonment for each violation. Section 11.00 (m) L.A.M.C.

APPEAL PROCEDURES:

There is an appeal procedure established in this city whereby the Department of Building and Safety and the Board of Building and Safety Commissioners have the authority to hear and determine error or abuse of discretion, or requests for slight modification of the requirements contained in this order when appropriate fees have been paid. Section 98.0403.1 and 98.0403.2 L.A.M.C.

If you have any questions or require any additional information please feel free to contact me at (213)252-3033.
Office hours are 7:00 a.m. to 3:30 p.m. Monday through Thursday.

Inspector: _____

[Signature]

Date: _____

June 07, 2010

JOE PARADISO
3550 WILSHIRE BLVD. SUITE 1800
LOS ANGELES, CA 90010
(213)252-3033

[Signature]
REVIEWED BY